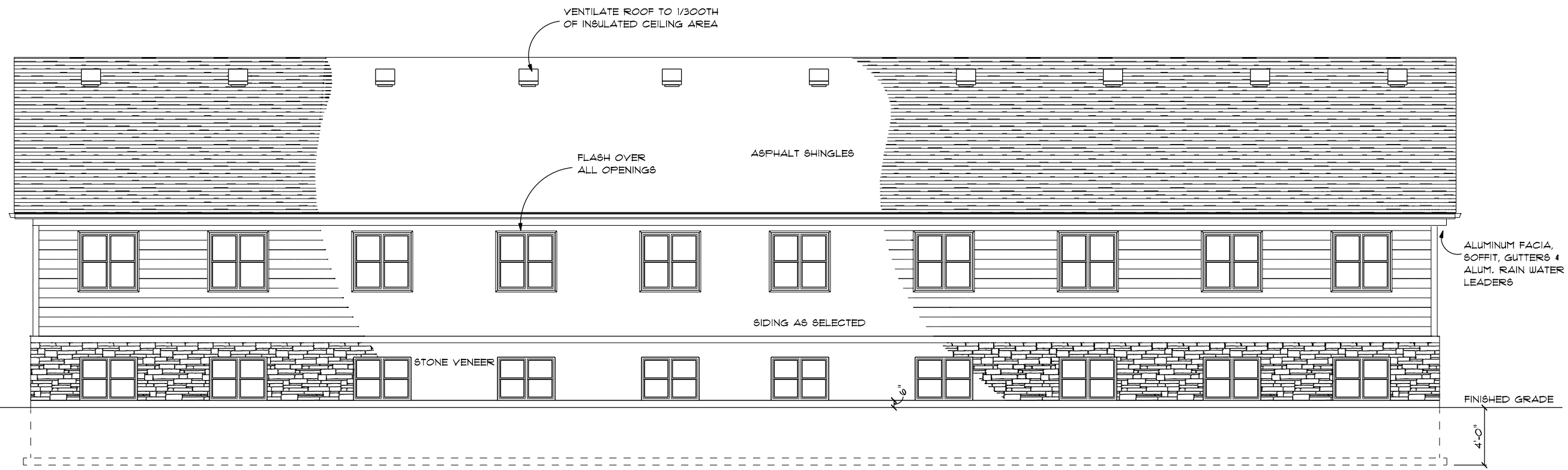




FRONT ELEVATION



REAR ELEVATION

I, CARLOS MARQUES AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

DESIGNER CARLOS MARQUES BCIN 20211
 FIRM CARLOS MANUEL MARQUES BCIN 32816

SIGNATURE

DATE

DECEMBER 2018

SCALE
 1/8" = 1'-0"

CLIENT

ORKNEY RESIDENTIAL

PROJECT

10 UNIT - DESERONTO

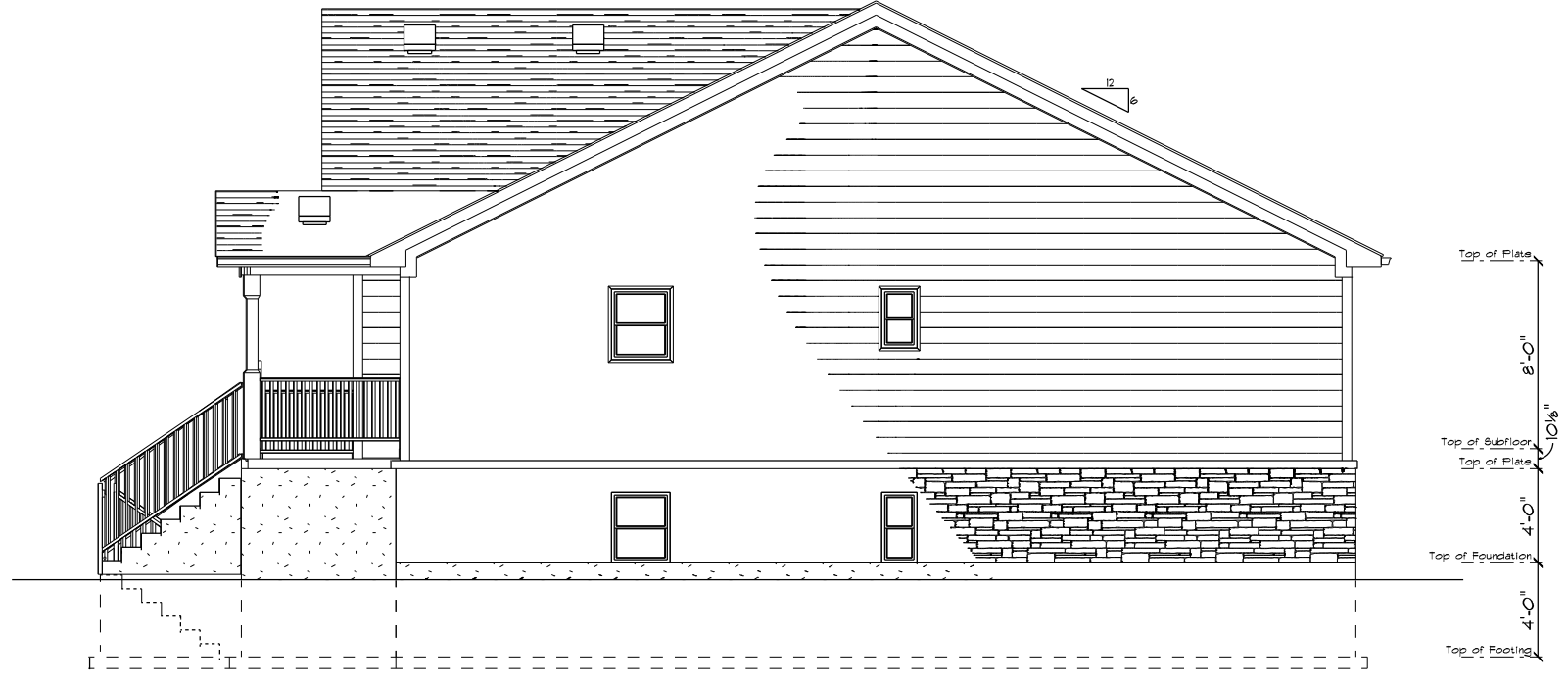
DRAWING

FRONT & REAR ELEVATIONS

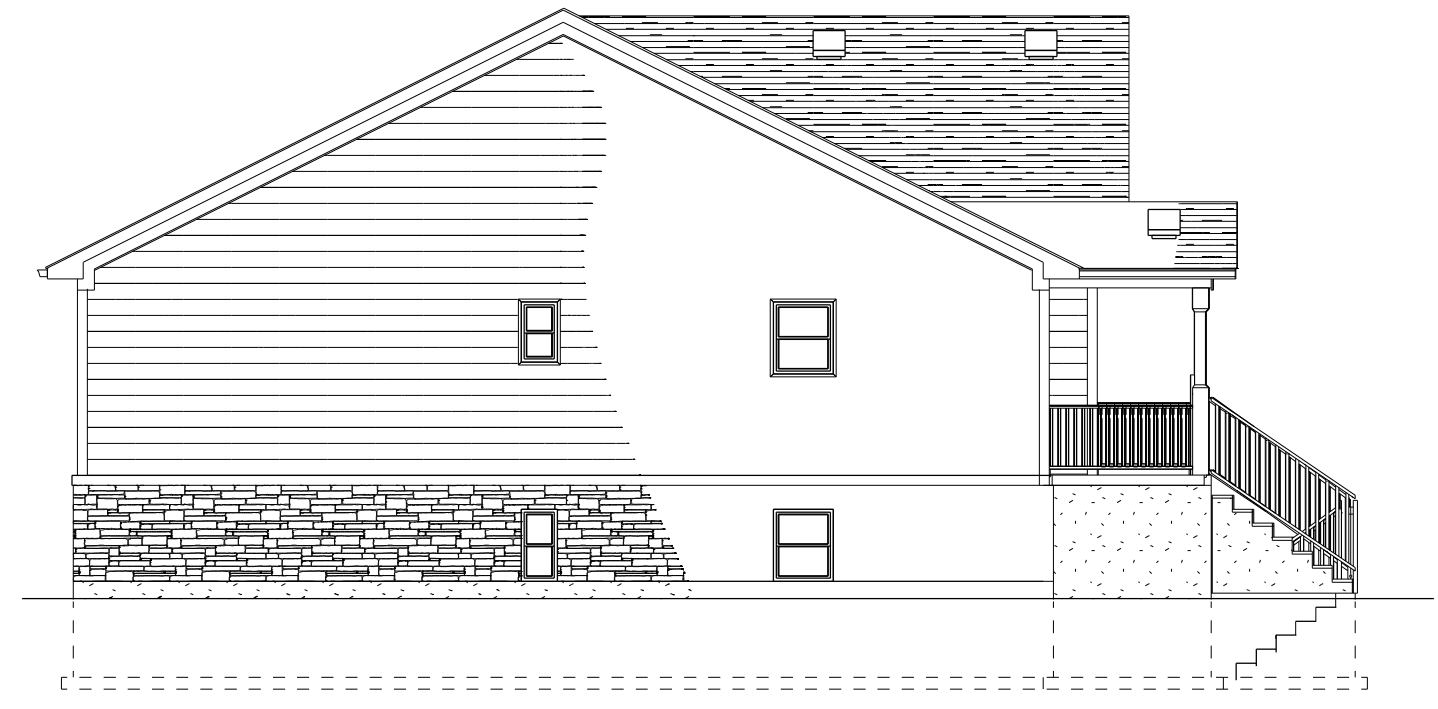
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DO NOT SCALE THIS DRAWING, WORK TO NOTED DIMENSIONS ONLY

1



RIGHT ELEVATION



LEFT ELEVATION

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 FIRM CARLOS MANUEL MARQUES BCIN 32816

2

DATE
 DECEMBER 2018

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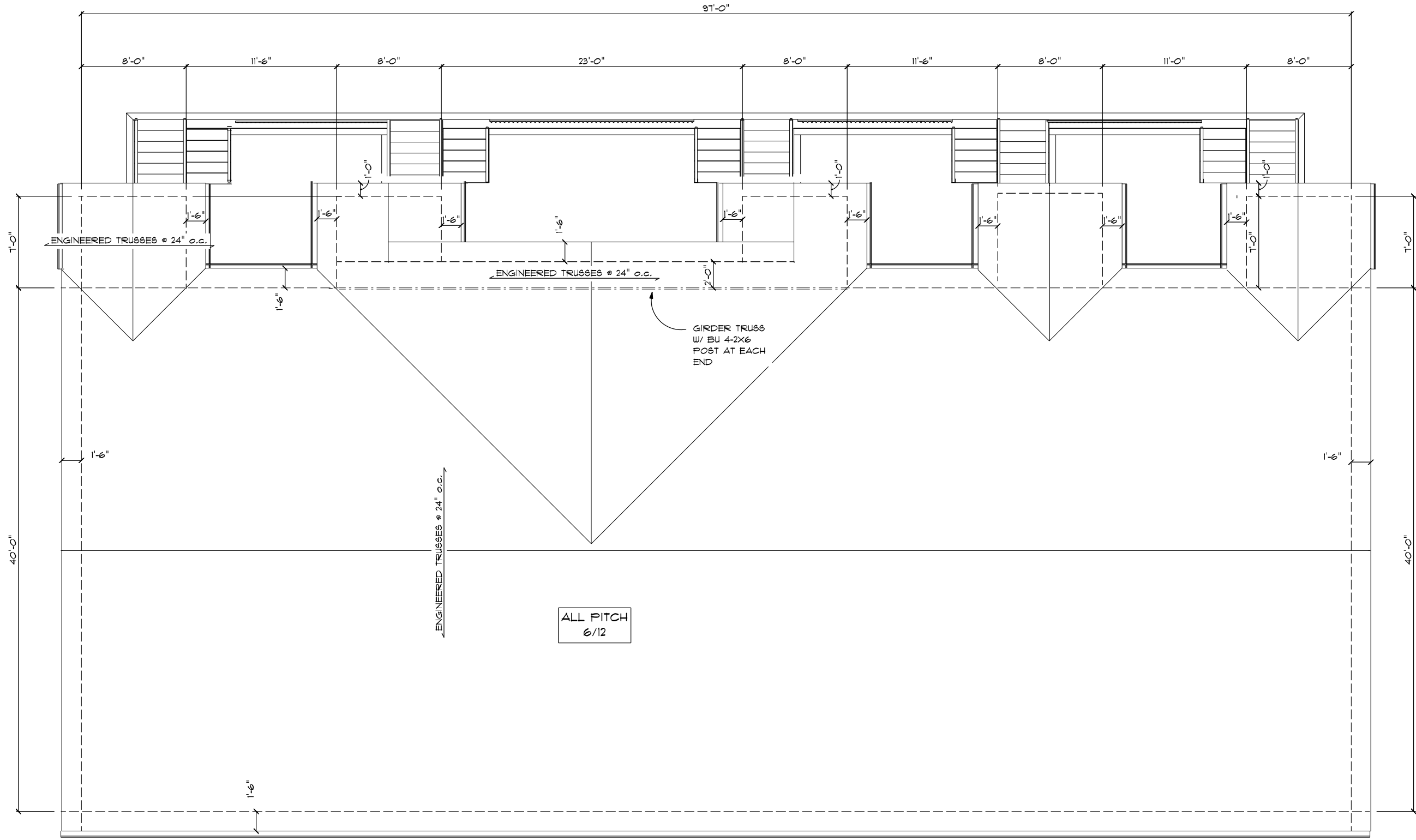
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10 UNIT - DESERONTO

DRAWING

RIGHT & LEFT ELEVATIONS



ALL PITCH
6/12

GIRDER TRUSS
W/ BU 4-2X6
POST AT EACH
END

ENGINEERED TRUSSES @ 24" o.c.

ENGINEERED TRUSSES @ 24" o.c.

ENGINEERED TRUSSES @ 24" o.c.

1'-6"

1'-6"

1'-6"

40'-0"

40'-0"

1'-0"

1'-0"

8'-0" 11'-6" 8'-0" 23'-0" 8'-0" 11'-6" 8'-0" 11'-0" 8'-0"

97'-0"

ROOF TRUSS DESIGN SHALL BE AS PROVIDED BY TRUSS SUPPLIER AND SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO. THE TRUSS DESIGN DRAWINGS SHALL BE CONSIDERED AN INTEGRAL PART OF THIS DRAWING.

TRUSSES SHALL BE RAISED HEEL ENERGY DESIGN
WHERE TRUSS SPAN EXCEEDS 36' THE SUPPORTING LINTELS AND BEAMS SHALL BE AS SPECIFIED BY THE TRUSS DESIGNER

I, CARLOS MARQUES AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

SIGNATURE

3

DATE
DECEMBER 2018

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DESIGNER CARLOS MARQUES
FIRM CARLOS MANUEL MARQUES

BCIN 20211
BCIN 32816

CLIENT

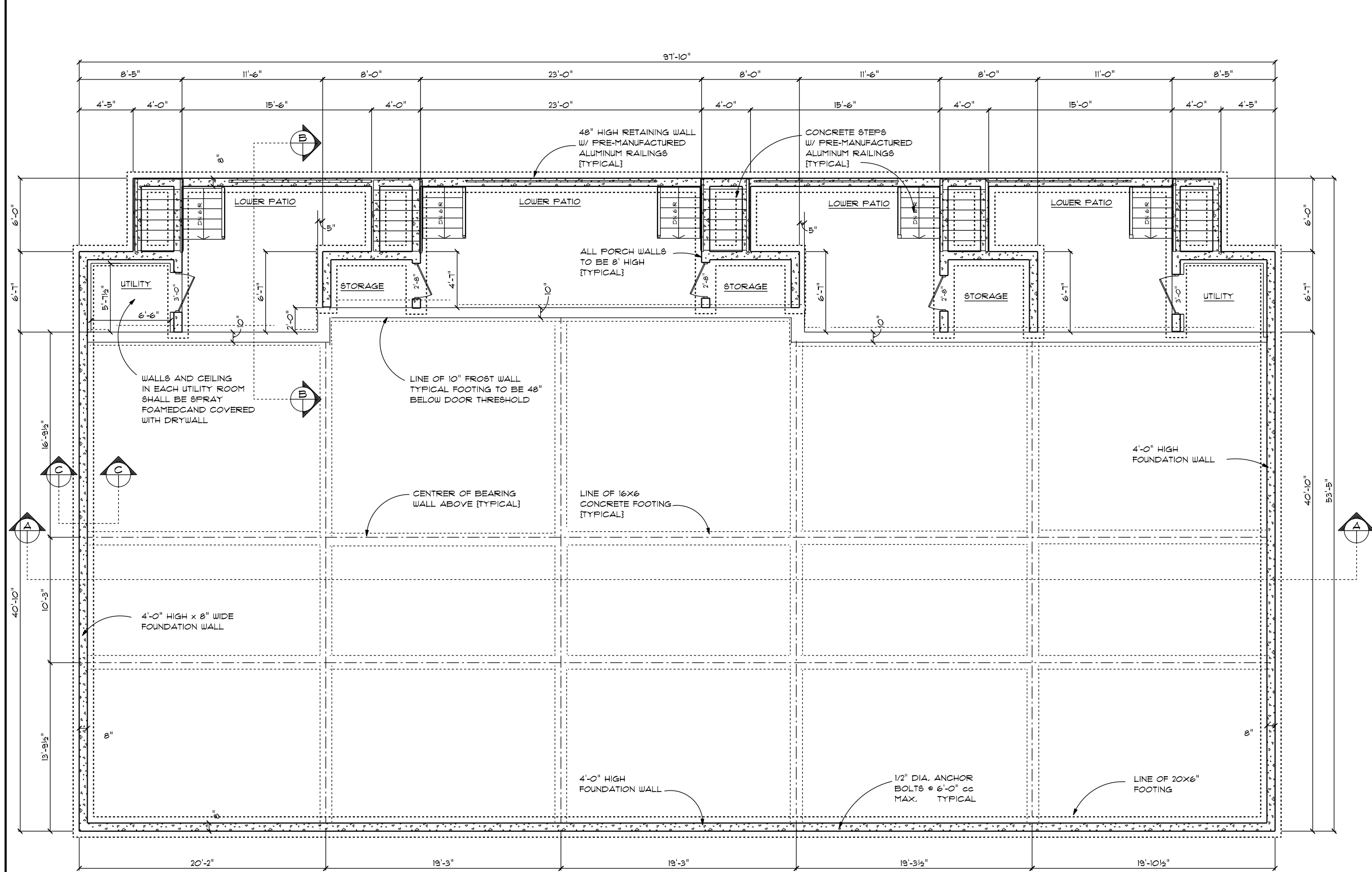
ORKNEY RESIDENTIAL

PROJECT

10 UNIT - DESERONTO

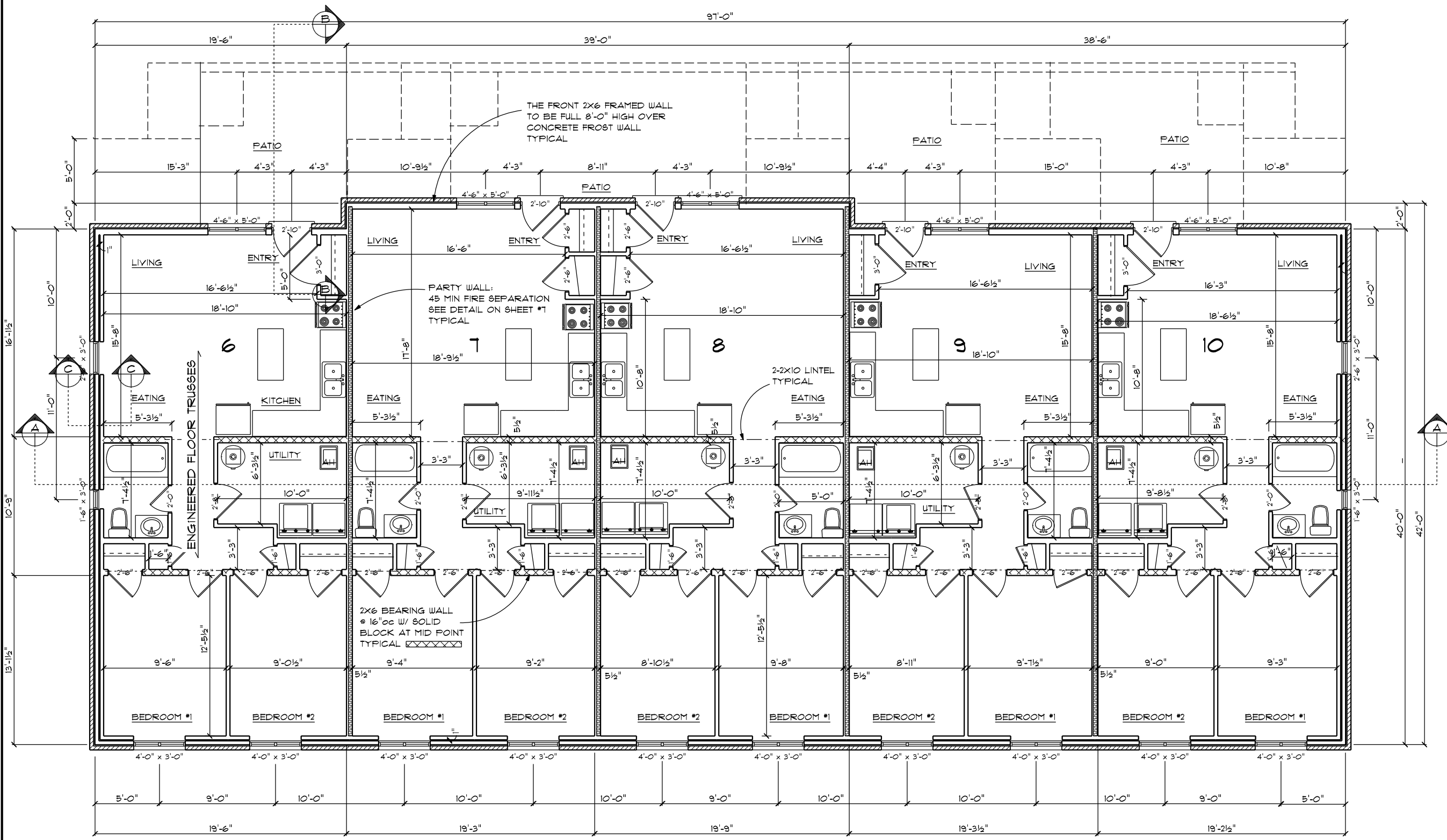
DRAWING

ROOF PLAN



THE FOUNDATION DIMENSIONS AT ALL SIDE AND REAR 48" HIGH WALLS AND FROST WALLS ALLOW FOR A 5" WIDE STONE LEDGE. ADJUST DIMENSIONS FOR ANY ALTERNATE VENEER MATERIAL IN THESE LOCATIONS IF SELECTED.

DESIGNER CARLOS MARQUES BCIN 20211 FIRM CARLOS MANUEL MARQUES BCIN 32816	
CLIENT ORKNEY RESIDENTIAL	PROJECT 10 UNIT - DESERONTO
DATE DECEMBER 2018	SCALE 1/8" = 1'-0"
SIGNATURE 4	DRAWING FOUNDATION PLAN
AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN	
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DECEMBER 2018

SCALE
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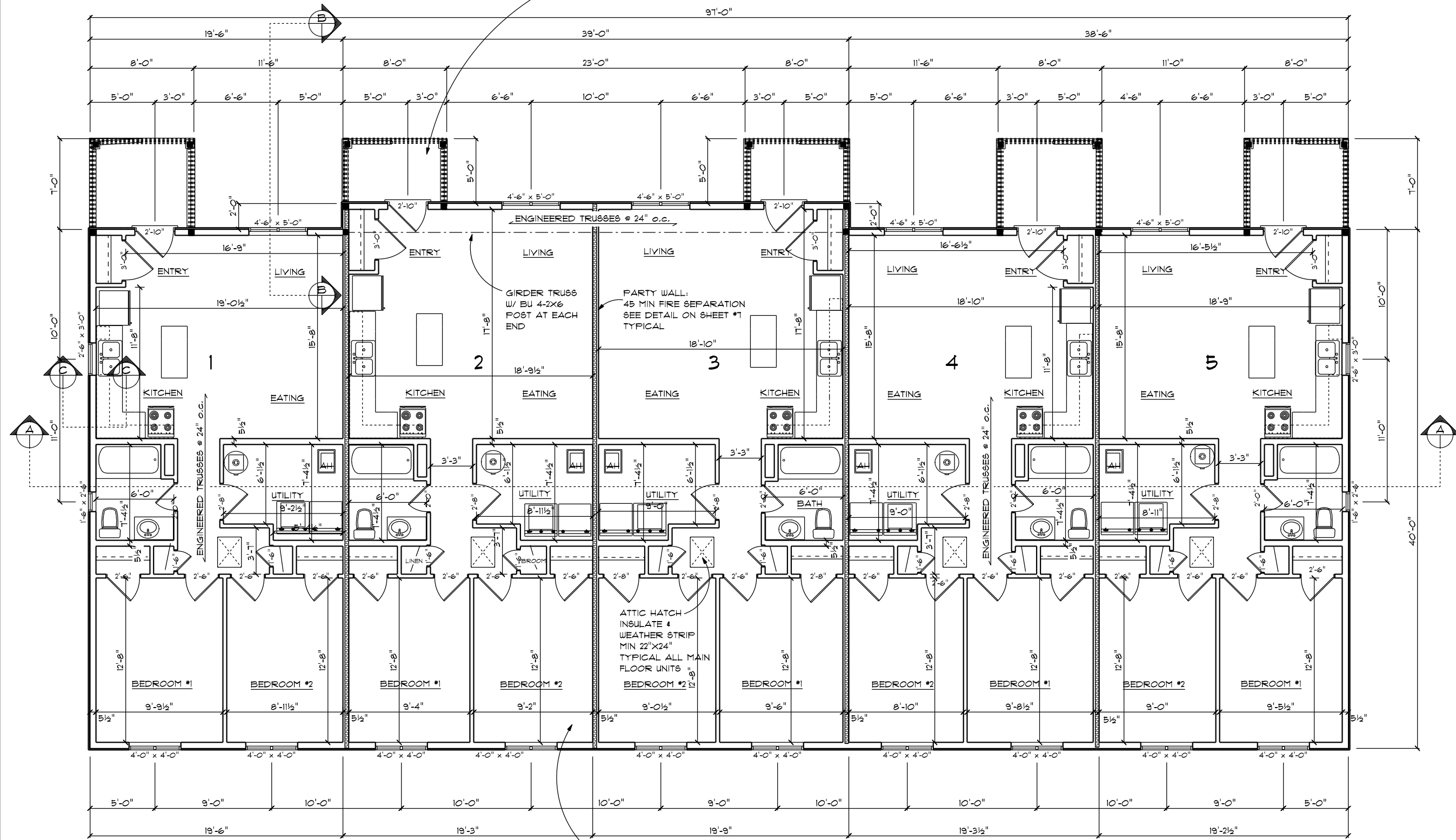
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PROJECT
10 UNIT - DESERONTO

DRAWING LOWER FLOOR LEVEL #
KNEE WALL PLAN



COVERED PORCH:
 TYPICAL ROOF
 ON 3-2X10 BEAM ON MIN 6X6
 WOOD POSTS CLAD TO SUIT ON
 CAST-IN-PLACE METAL POST SHOES
 IN 5" CONCRETE SLAB ON METAL
 CORRUGATED DECK FORM ON
 8" CONC. FOUNDATIONS ON 20X6
 CONCRETE FOOTINGS MIN 48" BELOW
 FINAL GRADE
 TYPICAL

FLOOR / CEILING ASSY.
 45 MIN FIRE SEPARATION
 SEE DETAIL ON SHEET #1
 TYPICAL

I, CARLOS MARQUES AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

DESIGNER CARLOS MARQUES
 FIRM CARLOS MANUEL MARQUES

BCIN 20211
 BCIN 33816

SIGNATURE


DATE
 DECEMBER 2018

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CLIENT
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PROJECT
 10 UNIT - DESERONTO

DRAWING
 UPPER FLOOR PLAN

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ENERGY EFFICIENCY

SUPPLEMENTARY STANDARD
SB-12 COMPLIANCE PACKAGE
FOR ZONE # 1

3.1.1.2 A SENTENCE 3.1.1.2.111

COMPLIANCE PACKAGE "A-5"

SPACE HEATING PROVIDED BY
GAS BOILER @ 94% EFF.

GLAZING TO WALL SURFACE
AREA CALCULATION % 08.9

ALLOWABLE PERCENTAGE 17%

287 GLAZING / 3614 WALL AREA

ALL GLAZING SHALL HAVE A
MINIMUM "U" VALUE OF 2.8

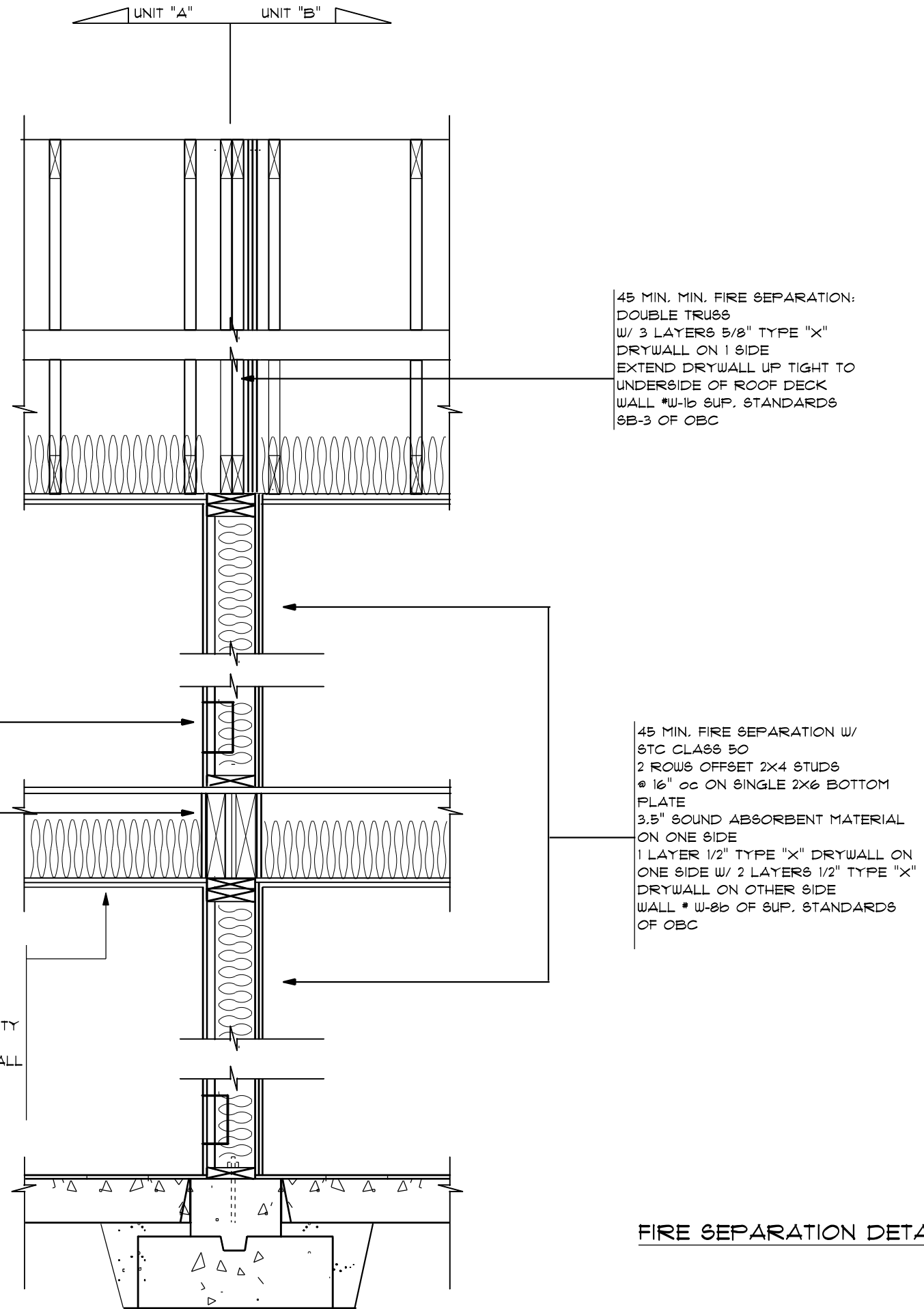
WALLS ABOVE GRADE R-19 + 5c1

FND WALL R-12 + 5c1

CEILING@ R-50

MIN HRV EFFICIENCY 70%

WATER HEATER EF .8



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FIRM CARLOS MANUEL MARQUES

BCIN 20211
BCIN 32816

DATE

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NTS

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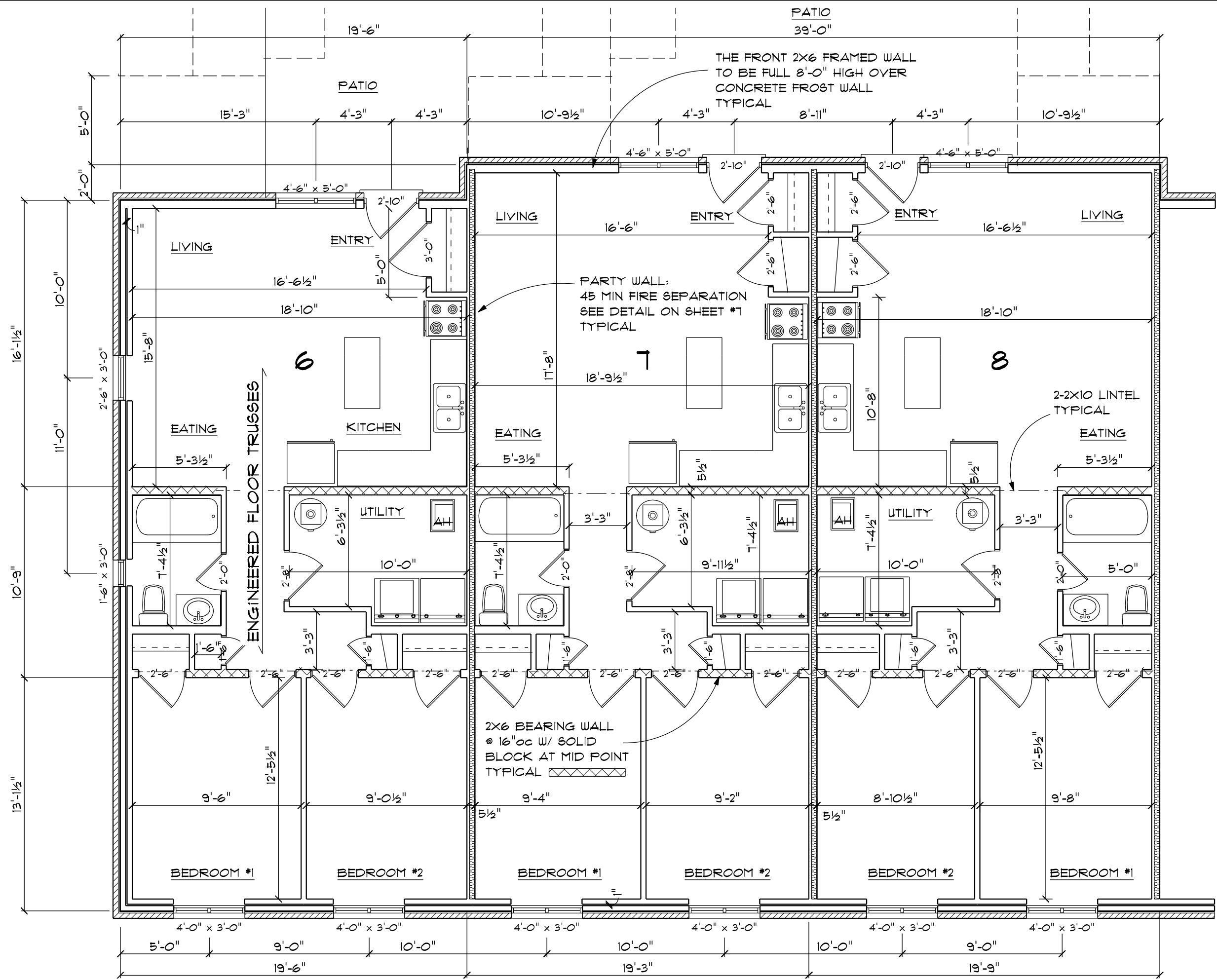
PROJECT
10 UNIT - DESERONTO

DRAWING
**FIRE SEPARATION
TYPICAL DETAIL**

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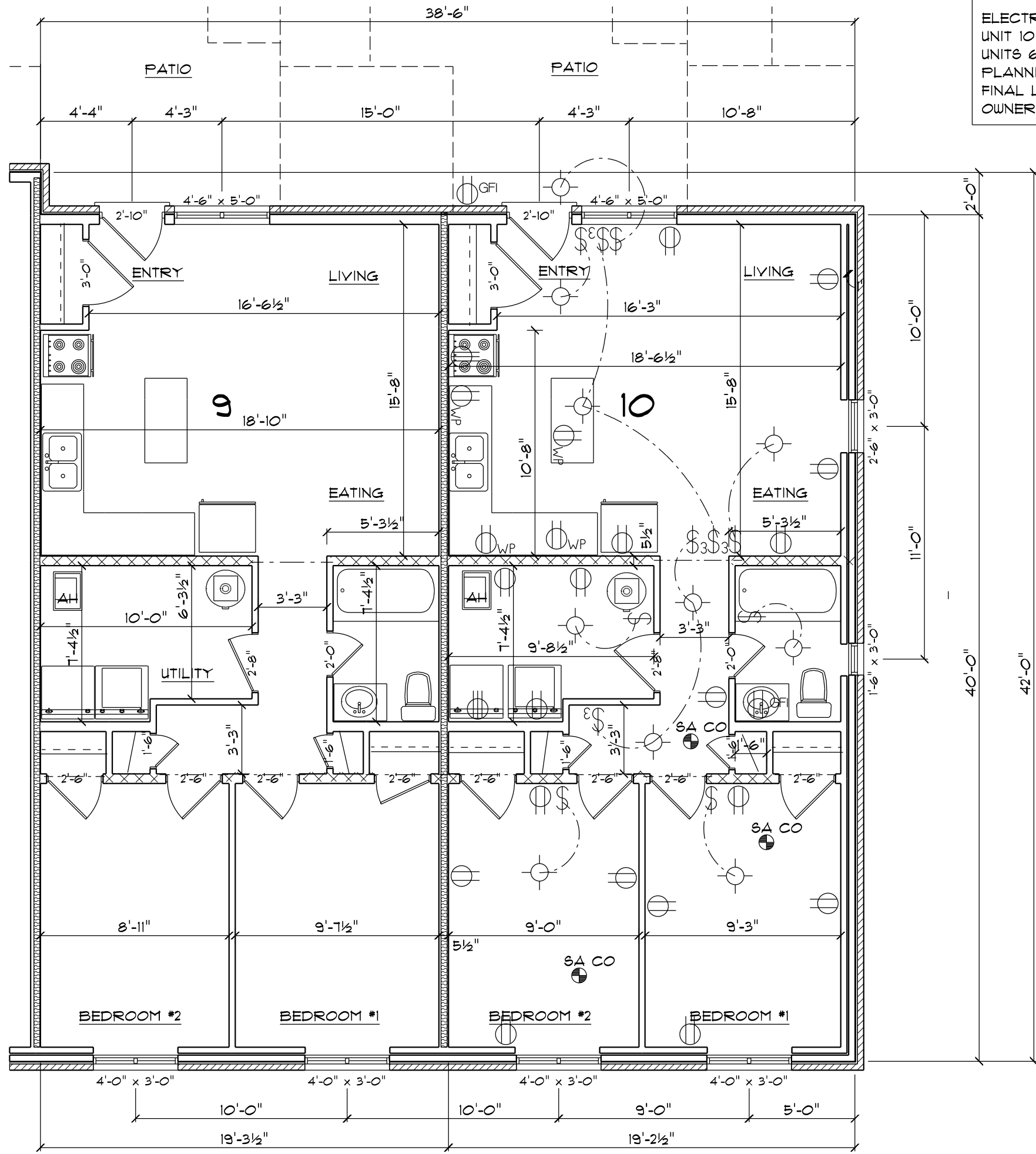
CLIENT ORKNEY RESIDENTIAL
 PROJECT 10 UNIT - DESERONTO
 DRAWING LOWER FLOOR PLAN
 UNITS 6, 7 & 8

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DATE DECEMBER 2018
 SCALE 3/16" = 1'-0"

SIGNATURE **8**



ELECTRICAL PLACEMENT IN UNIT 10 ARE TYPICAL FOR UNITS 6-10 AND ARE FOR PLANNING PURPOSES ONLY. FINAL LOCATIONS TO SUIT OWNER'S SELECTION.

DESIGNER CARLOS MARQUES
FIRM CARLOS MANUEL MARQUES

CLIENT ORKNEY RESIDENTIAL
PROJECT 10 UNIT - DESERONTO
DRAWING LOWER FLOOR PLAN
UNITS 9 & 10

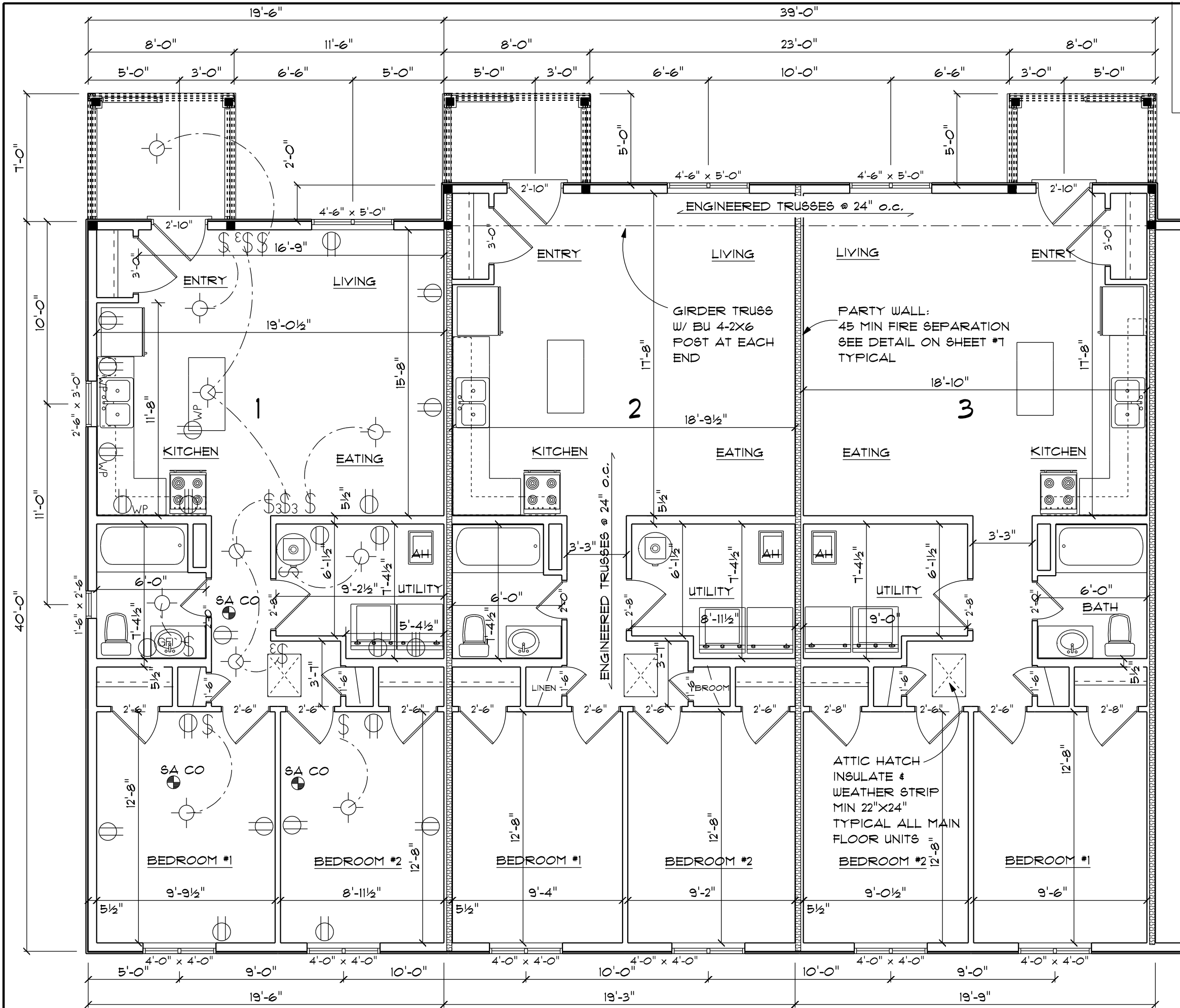
DATE DECEMBER 2018
SCALE 3/16"=1'-0"

SIGNATURE
6

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BCIN 20211
BCIN 32816



ELECTRICAL PLACEMENT IN UNIT 1 ARE TYPICAL FOR UNITS 1-3 AND ARE FOR PLANNING PURPOSES ONLY FINAL LOCATIONS TO SUIT OWNER'S SELECTION

DESIGNER CARLOS MARQUES
FIRM CARLOS MANUEL MARQUES

AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

SIGNATURE

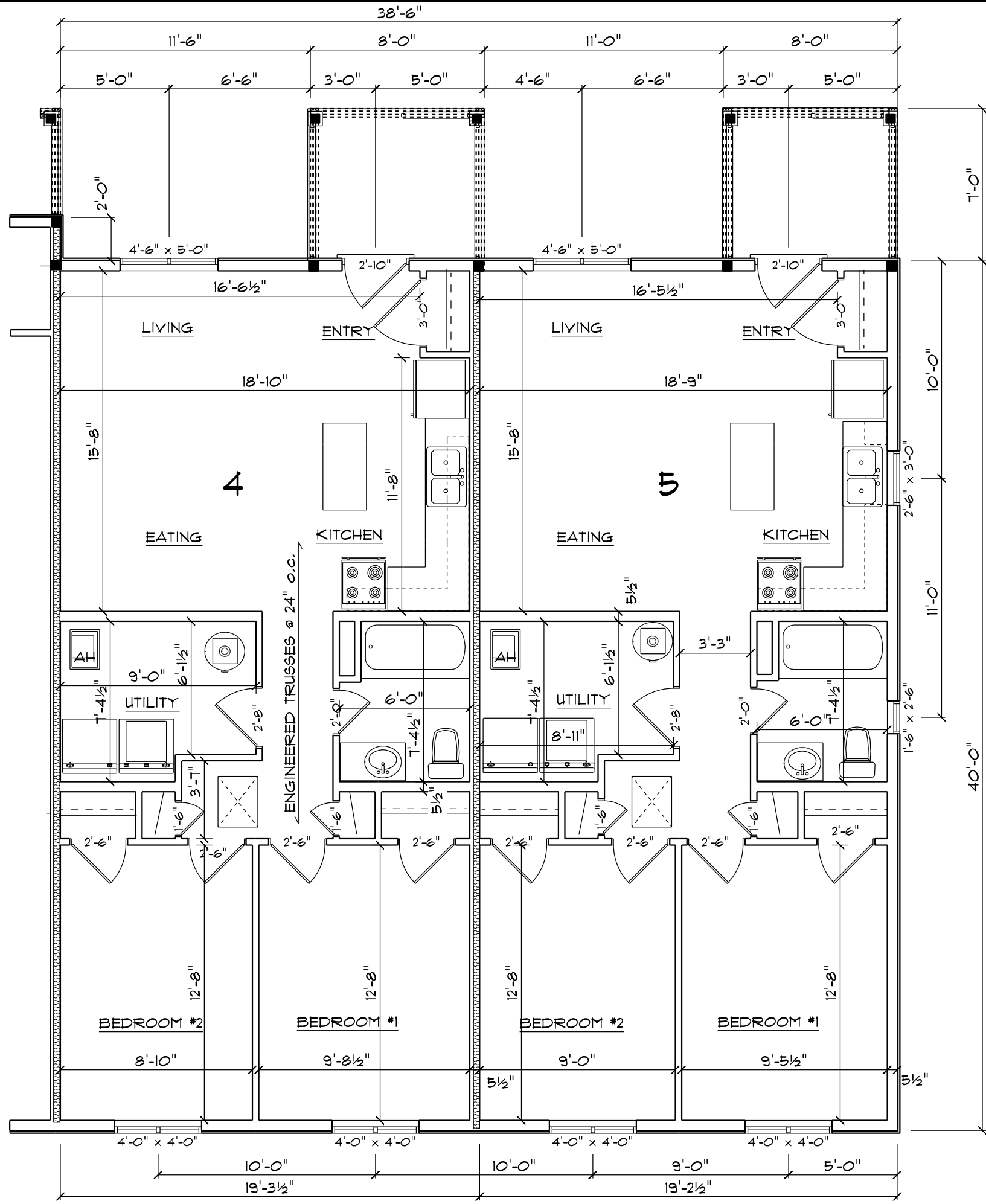
BCIN 20211
BCIN 32816

CLIENT ORKNEY RESIDENTIAL
PROJECT 10 UNIT - DESERONTO
DRAWING UPPER FLOOR PLAN UNITS 1, 2 & 3

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DATE DECEMBER 2018
SCALE 3/16"=1'-0"

10



CARLOS MARGUES
SIGNATURE

AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

DESIGNER CARLOS MARGUES
FIRM CARLOS MANUEL MARGUES

BCIN 20211
BCIN 32816

DATE

DECEMBER 2018

SCALE

3/16"=1'-0"

CLIENT

ORKNEY RESIDENTIAL

PROJECT

10 UNIT - DESERONTO

DRAWING

UPPER FLOOR PLAN

UNITS 4 & 5

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11

SEE SECTION "B-B" AND "C-C" FOR ADDITIONAL DETAILS

EXTERIOR WALL:
SIDING AS SELECTED
AIR BARRIER
7/16" SHEATHING
2x6 STUDS @ 16" o.c.
R-19 + R-5ci INSULATION
6 mil POLY V.B.
1/2" DRYWALL

PARTY WALL:
45 MIN FIRE SEPARATION
SEE DETAIL ON SHEET *
TYPICAL

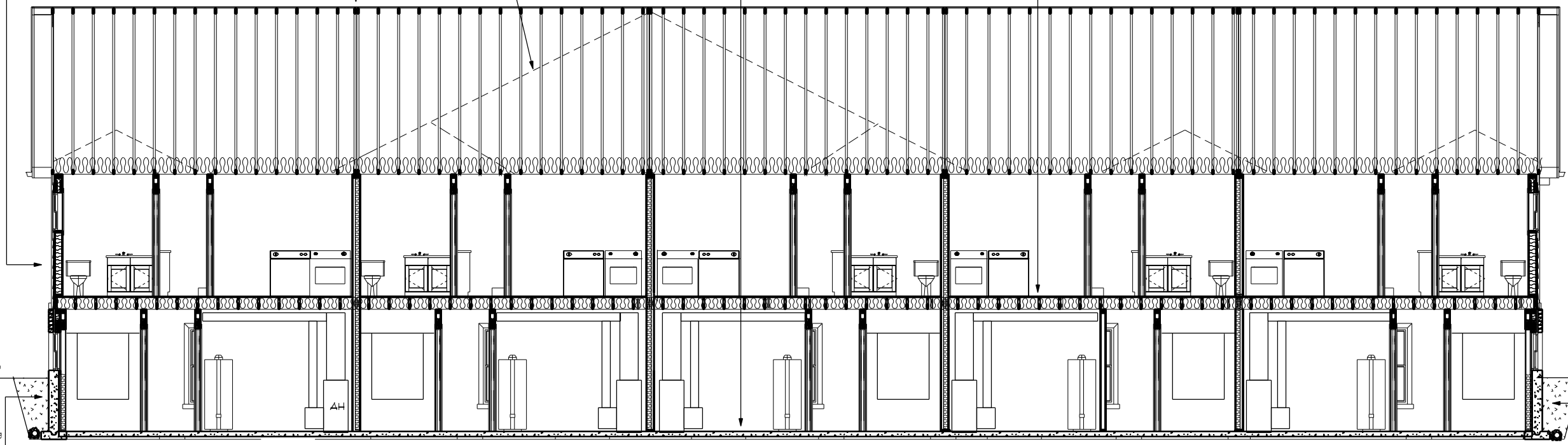
BASEMENT FLOOR:
4" CONCRETE SLAB OVER
OVER MIN 6" LEVELED CLEAN
STONE FILL

FLOOR / CEILING ASSY.
45 MIN FIRE SEPARATION
SEE DETAIL ON SHEET *
TYPICAL

TRUSS ROOF:
SHINGLE STARTER
#225 ASPHALT SHINGLES
WEATHER GUARD
EAVES PROTECTION
1/2" ROOFING SHEATHING c/w
1" CLIPS
PRE-ENG RAISED HEEL TRUSSES
@ 24" o.c.
INSULATION DAMS
R50 BATT INSULATION
6 mil POLY V.B.
STRAP @ 16" oc
1/2" DRYWALL

LINE OF GABLES
BEYOND

8'-0"
Top of Plate
10 1/2"
Top of Subfloor
4'-0"
Top of Plate
16"
Top of Foundation
Final Grade
4'-0"
Bottom of Footing



KNEE WALL:
STONE VENEER AS SELECTED
W/ BRICK TIES, FLASHING
4 WEEP HOLES
1" AIR SPACE
AIR BARRIER
7/16" SHEATHING
2x6 STUDS @ 16" o.c.
R19 + 5ci INSULATION
6 mil POLY V.B.
1/2" DRYWALL

FOUNDATION WALL
SILL PLATE W/ 1/2" BOLTS
@ 6" oc MAX. ON SILL GASKET
CLEAN BACKFILL
DRAINAGE LAYER EQUAL TO
3/4" DRAINCLAD
BITUMINOUS COATING
8" CONCRETE WALL KEYED TO
20X6 CONCRETE FOOTING
2X4 STRAP @ 24" oc
MIN R-12 + R-5ci INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" DRYWALL

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WHERE TRUSS SPAN EXCEEDS 36' THE SUPPORTING LINTELS AND BEAMS SHALL BE AS SPECIFIED BY THE TRUSS DESIGNER

TRUSSES SHALL BE RAISED HEEL ENERGY DESIGN

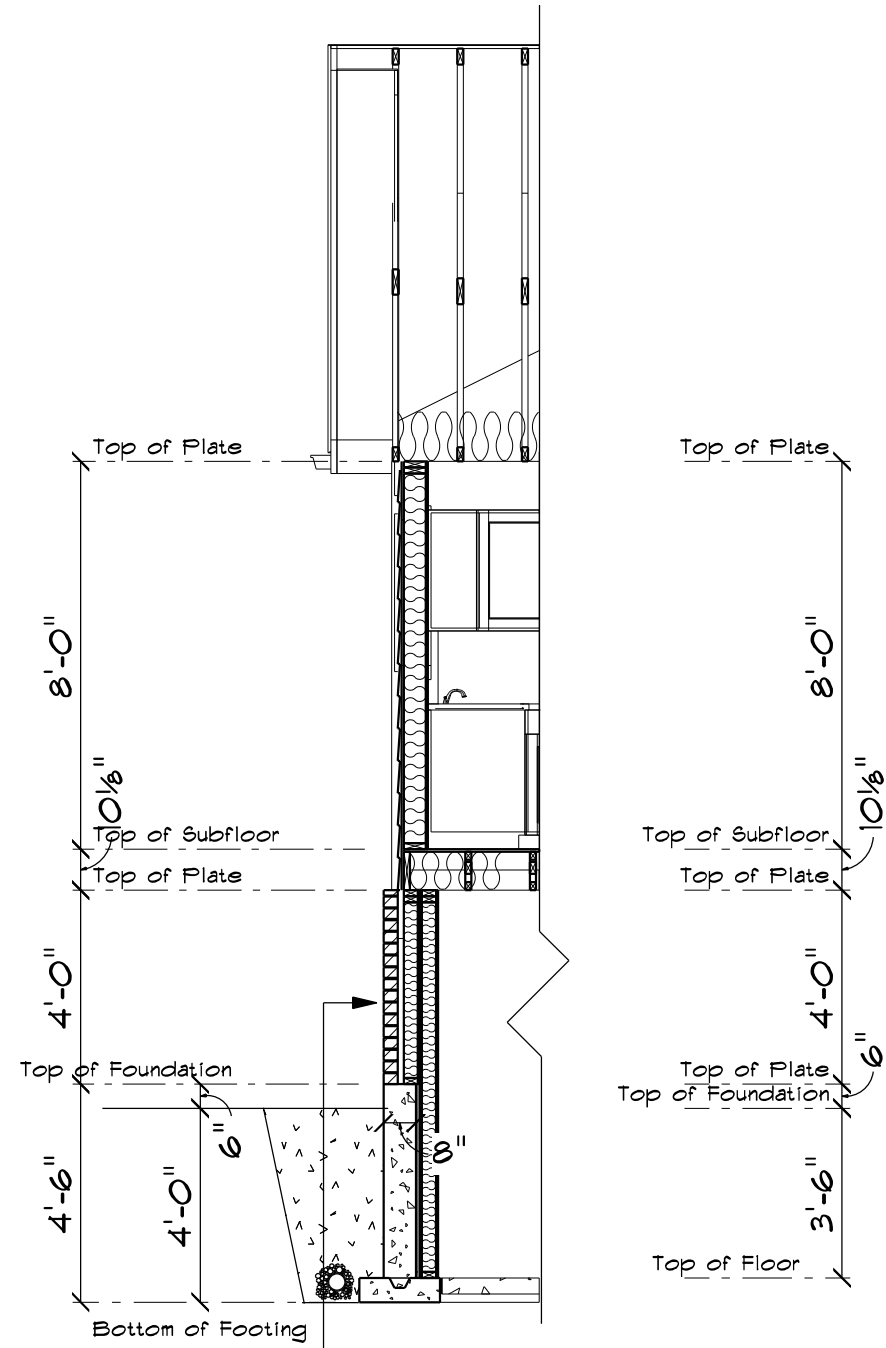
DESIGNER CARLOS MARQUES BCIN 20211
FIRM CARLOS MANUEL MARQUES BCIN 32816
AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN
SIGNATURE I, CARLOS MARQUES

CLIENT ORKNEY RESIDENTIAL
PROJECT 10 UNIT - DESERONTO
DRAWING SECTION "A-A"

DATE DECEMBER 2018
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12

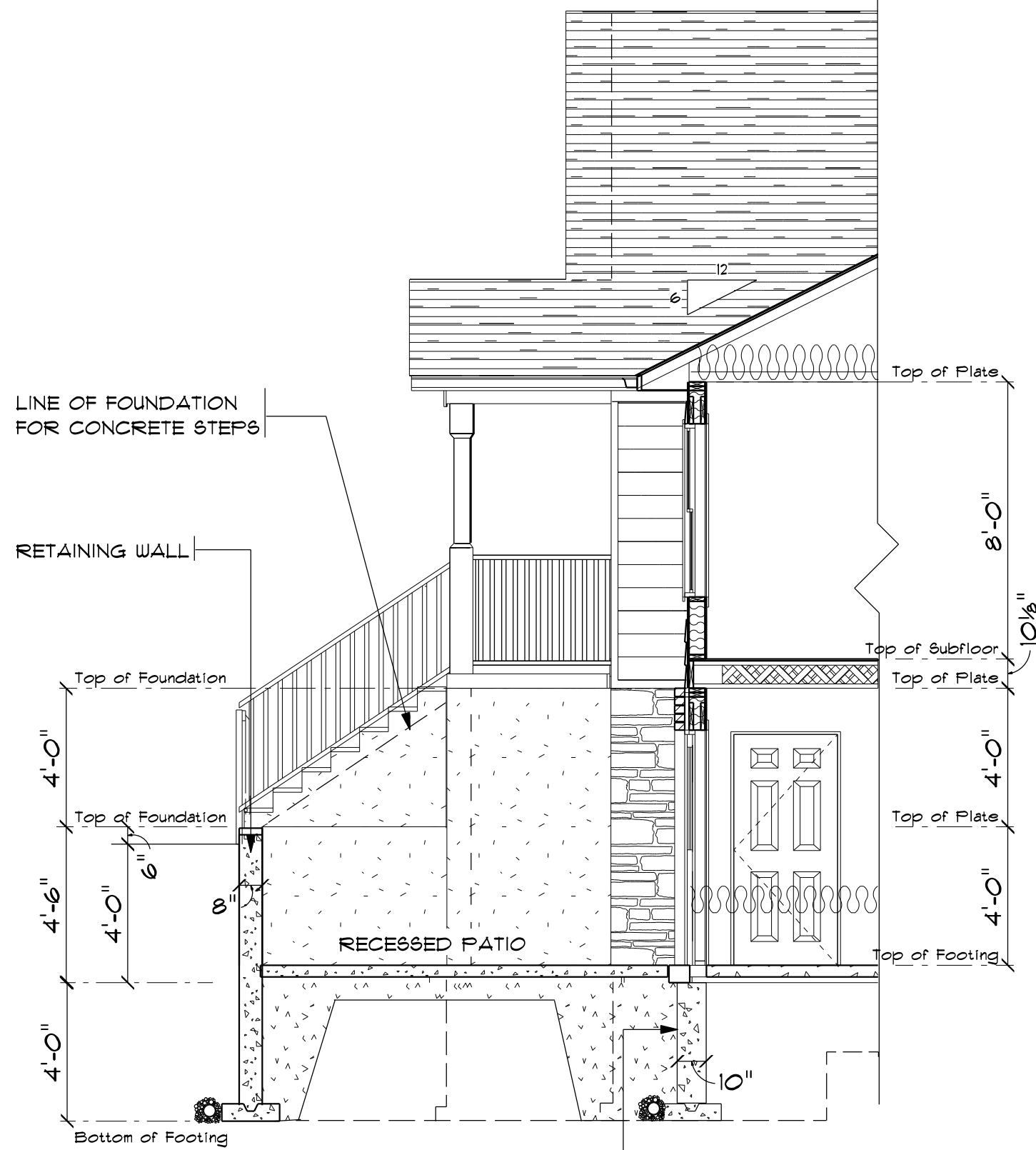
SECTION "C-C"



KNEE WALL:
 STONE VENEER AS SELECTED
 W/ BRICK TIES, FLASHING
 & WEEP HOLES
 1" AIR SPACE
 AIR BARRIER
 7/16" SHEATHING
 2x4 STUDS @ 16" o.c
 EXTRA ROW 2x4 STRAP @
 24"oc TO FLOOR
 MIN. R19 + 5ci INSULATION
 6 mil POLY V.B.
 1/2" DRYWALL

FROST WALL:
 CLEAN BACKFILL
 10" CONCRETE WALL ON 20" WIDE x 6" DEEP
 CONCRETE FOOTING MIN. 48" BELOW FINAL GRADE
 MIN. R-10 VERTICAL RIGID INSULATION TO MIN 24"
 BELOW GRADE
 STEP WALL AT EACH SIDE TO SUIT SITE CONDITIONS
 W/ STEPS @ MAX. 24" VERTICAL AND MIN. 48"
 HORIZONTAL TO MAINTAIN 48" BELOW GRADE

SECTION "B-B"



SEE SECTION "A-A" FOR
 ADDITIONAL DETAILS

DESIGNER CARLOS MARGUES BCIN 20211
 FIRM CARLOS MANUEL MARGUES BCIN 32816
 AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN
 SIGNATURE

DATE	DECEMBER 2018	CLIENT	ORKNEY RESIDENTIAL
SCALE	NTS	PROJECT	10 UNIT - DESERONTO
		DRAWING	SECTION "B-B" & "C-C"

13

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GENERAL CONSTRUCTION NOTATIONS

These notes shall form an integral part of the attached construction drawings.

These plans form a basis for permit issuance and any deviations from these plans and details, including the ventilation system, heating system, wood stoves, fireplaces, decks, balconies and finished basements, will require a revised drawing and clearance by the building department.

All notes on the drawings shall take precedence over these notes.

Although all due care and diligence was exercised in the preparation of these drawings, the Contractor shall check and verify all dimensions prior to construction and notify the owner of any errors.

A building inspector may require a professional engineer to provide certification for some components of this structure. All additional costs associated with a professional review are the responsibility of the owners.

Final Kitchen designs shall be to the owner's selection.

All work shall be performed in accordance with the latest version of the Ontario Building Code [O.B.C.] sections 6, 7, 8 and 9, and any local codes or bylaws having jurisdiction. Workmanship shall be equal to good building practice. All materials shall be new and of best quality.

Consult with the owner for final electrical fixture and outlet location. Pay particular attention to the placement of ceiling fixtures over table spaces.

The sub-contractor is responsible for all permits, inspections and approvals pertaining to their work. Associated fees are to be included in tender price.

The sub-contractor is responsible to provide adequate liability insurance, worker's compensation coverage and comply with all rules and regulations of the occupational health and safety act.

The sub-contractor is responsible for on site cleanup of his work and legal disposal of waste material and debris.

Do not scale this drawing. Work to written dimensions only.

A. FOUNDATIONS AND FLOOR SLABS

1. All footings must rest on undisturbed native soil and must be a minimum of 48" below final grade unless supported on rock. Size to be as noted on plans or as per Ontario Building Code. Where existing site conditions, such as high water table or moisture susceptible soils may limit the bearing capacity for the footings, the contractor must take measures to minimize the effect as per the O.B.C.

2. 4" drain tile shall be placed around the perimeter of the house and garage foundation at footing level with a leader to natural gravity drainage.

3. The drain tile shall be covered on top and sides with clean granular fill to a depth of 6".

4. Foundation walls shall be placed to extend a minimum of 6" above final grade.

5. Foundations shall be back-filled with clean new material.

6. Poured foundation walls shall be keyed to footings.

7. Parge the exterior of foundation walls and apply 1 coat of bituminous coating below grade. Foundation walls shall be protected against ground moisture by an approved drainage layer equal to 3/4" drainclad, installed according to the manufacturer's installation instructions.

8. Concrete strength shall be minimum 2800 psi after 28 days. Strength for exterior concrete shall be minimum 4650 psi after 28 days with air entrainment of 5 to 8%.

9. Basement slabs shall be a minimum 4" thick over a minimum of 6" of clean, leveled stone fill. Provide isolation joints where the slab meets the wall.

10. Damp proofing shall be installed where ground water is known to exist.

11. Foundations shall be back-filled with clean new material. Final grades shall suit site conditions. Maximum backfill heights shall conform to 9.2.15.4.2.A of O.B.C.

12. The site is to be graded so that surface water will not accumulate at or near the building.

13. 2x6 plates shall be paced on foam sill gasket with plate bolted to the foundation wall with 1/2" diameter anchor bolts @ 6' o.c. maximum.

14. Concrete stairs shall be supported on concrete foundations.

B. CONSTRUCTION ABOVE FOUNDATION

1. Concrete stairs leading to the dwelling unit are to have a maximum riser of 7 7/8", minimum tread depth of 9 1/4" and fitted with a pre-manufactured aluminum 42" high railing

2. Party wall fire separations shall be constructed as per wall number W-8b of supplementary standards of OBC

3. All door and window openings shown on the plan are suggested nominal sizes. The owner shall supply the framing contractor with all Rough Opening Sizes of windows and doors as selected prior to the start of construction.

4. Floor / Ceiling fire separations shall be constructed as per floor number F-9c of supplementary standards of OBC

5. All wood lintels over exterior openings shall be 2 - 2x10 on edge, except where designed by the truss designer when truss spans exceeds 36'.

6. End bearing of joists shall not be less than 11/2".


7. Attic truss fire separations shall be constructed as per wall number W-1b of supplementary standards of OBC

8. Framing dimensions are to face of stud.

9. Fire-stops shall be provided at all concealed spaces at floor and ceiling levels.

10. Pre-engineered roof and floor trusses shall be installed in accordance with the manufacturer's installation detail drawings. The engineered design will include the size and placement of all girders, beams, braces and lintels that are required for the truss support including point load strategies. An engineer, licensed by the Province of Ontario shall review and stamp said drawing. Said drawing shall be considered to be an integral part of this drawing.

DESIGNER CARLOS MARGUES BCIN 20211
 FIRM CARLOS MANUEL MARGUES BCIN 32816
 AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN
 I, CARLOS MARGUES SIGNATURE

CLIENT ORKNEY RESIDENTIAL	PROJECT 10 UNIT - DESERONTO	DATE DECEMBER 2018	DRAWING GENERAL NOTATIONS SHEET # 1
ALTHOUGH ALL DUE DILIGENCE WAS EXERCISED IN THE CREATION OF THIS DRAWING, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES		SCALE NTS	DO NOT SCALE THIS DRAWING, WORK TO NOTED DIMENSIONS ONLY
			

11. Double floor joists shall be installed under all parallel non-load bearing partitions over 6' long above, except that 2"x4" blocking, spaced not more than 4' apart, shall be permitted so as to provide mechanical access.
12. All clothes closets shall have a minimum of one rod and shelf.
13. The contractor shall install solid blocking for all shelving, built-in cabinets, towel bars, bathroom accessories etc. as required. Confirm all locations with the owners prior to framing.
14. Facia board shall be minimum 2x6.
15. Attic access hatches shall be a minimum 22"x28". The hatches shall be insulated and weather stripped. Locations to be confirmed by owner to suit site conditions and provide access to all enclosed roof spaces.
16. Each bedroom shall have at least one window as a means of egress. The window shall provide an unobstructed opening of not less than 15" in height and width with a minimum area of 3.76 sq. ft.
17. Insulation shall be provided in assemblies between heated and unheated spaces. Provide a 6 mil. continuous poly vapour barrier on the warm side.
18. Minimum R values for assemblies adjacent to exterior are as follows:

Roof/Ceiling	R50
Exterior wall above grade	R19+5ci
Basement wall	R13+5ci
19. All foam plastic insulation shall be covered with drywall.
20. All vapour barriers shall be maintained around floor system framing.
21. During framing, the general contractor shall insulate all cavities and voids that will be not be accessible to the insulation contractor.
22. A disconnect switch for the boiler shall be located between the boiler and the utility room door. The switch shall be labelled and operational.
23. Smoke and C.O. alarms are to be located in all sleeping areas and between the remainder of the building including a minimum of one on each floor. Required alarms shall be hard wired on an individual circuit with no disconnect switch. Alarms shall be interconnected so that they all will sound together and shall have a visual component.
24. Flashing shall be provided at the intersection of roofs and walls, over all exterior openings, and at the top of the foundation wall beneath the first row of stone or siding.
25. Rainwater down spouts shall direct water away from the building. Provide splash guards at base of down spout to limit erosion.
26. Eaves protection shall be provided and shall extend 36" min. from the edge of the roof to a line not less than 12" inside the inner face of the exterior wall. Provide 15# felt paper [or equal] beneath shingles.
27. All entry doors and windows shall have resistance to forced entry conforming to the O.B.C. 9.6.8 and 9.7.6.

28. Clothes dryer and range hood vents shall be ducted to the outside and be fitted with vent hoods and back-draft dampers. All ducting shall be smooth wall and corrosion resistant.
29. Mechanical ventilation shall be provided to the dwelling unit by the installation of a heat recovery ventilator [HRV]. The HRV shall be balanced by the installer as per the manufacturer's installation instructions.
30. Combustion air for combustion of all fuel fired appliances shall be provided to the space containing the appliances, unless the appliances are directly supplied with outdoor combustion air and shall be independent of any mechanical ventilation for the structure. The combustion air inlet shall be sized to meet the firing rate of the appliances.
31. Heating shall be provided by common high efficiency natural gas boilers supplying individual unit air handlers w/ ductwork as designed by an HRAI certified designer.
32. All attic spaces, including over the front porches, shall be ventilated at a rate of 1sq.ft. vent for each 300sq.ft. attic with 1/2 vent area at the soffit.
33. All shower faucets shall be pressure balanced.
34. All toilets shall use a maximum 6 ltr. per flush.
35. The water delivery temperature to all hot water faucets shall be limited to a maximum of 120° F by the use of approved tempering devices.
36. The plumbing contractor shall consult with the owner for location and number of outside non-freeze hose faucets.
37. Provide a light fixture at all exterior doors.
38. Maintain a minimum 17 3/4" clearance to any combustible material at either side of the kitchen stove range, as well as 30" clear height above the range, unless otherwise protected.
41. The final ventilation design to be provided by an HRAI certified designer.

DESIGNER CARLOS MARQUES BCIN 20211
 FIRM CARLOS MANUEL MARQUES BCIN 32816

CLIENT	ORKNEY RESIDENTIAL
PROJECT	10 UNIT - DESERONTO
DRAWING	GENERAL NOTATIONS SHEET # 2

I, CARLOS MARQUES AM QUALIFIED AND TAKE RESPONSIBILITY FOR THIS DESIGN

SIGNATURE

DATE
DECEMBER 2018

SCALE
NTS

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ALTHOUGH ALL DUE DILIGENCE WAS EXERCISED IN THE CREATION OF THIS DRAWING, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES
DO NOT SCALE THIS DRAWING, WORK TO NOTED DIMENSIONS ONLY